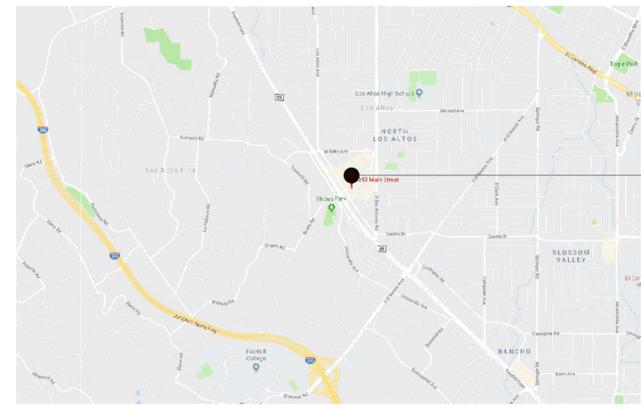


# CROATIVE

## PLANNING PACKAGE

### 343 MAIN ST. LOS ALTOS, CA 94022



SITE

VICINITY MAP  
NTS 1

CROATIVE IS UNDERTAKING A NEW BUILD IMPROVEMENT AT THE ABOVE ADDRESS. THIS PROPOSED PROJECT INVOLVES DEVELOPMENT OF THE SITE FOR A NEW BUILDING AND ASSOCIATED SITE SUPPORT AREAS SUCH AS PARKING, CIVIL, SITE UTILITIES, WALKWAYS, ETC. THE PROJECT IS A FULL BUILD OUT WITH DEMOLITION OF EXISTING BUILDING.

THE NEW BUILDING SHALL MATCH CHARACTERISTICS OF THE MAIN STREET ADJACENT BUILDING YET ALSO PROVIDE ITS OWN UNIQUE CHARACTER. THE FACADE IS STONE WITH CORNICE ACCENT ON THE FRONT RETAIL/RESIDENTIAL FACADE. AN AWNING SHALL BE INSTALLED TO PROVIDE THE MODERN LOOK WITH TEMPERED GLASS AND ALUMINUM. STUCCO SHALL BE THE OTHER SURFACE WHICH WILL PROVIDE A TRANSITION OF THE NATURAL STONE SURFACES. THE FACADE HAS A SET BACK ON THE SECOND FLOOR RESIDENTIAL WHICH RELIEVES THE PROMINENT FACADE OF NATURAL STONE AND CORNICES.

LEVEL 1 - NEW BUILDING STORE, CARPORT AND STAIRWAY TO ENTRY TO SECOND LEVEL

LEVEL 2 - CONSTRUCT A SECOND FLOOR AS A RESIDENTIAL OCCUPANCY. A TWO BEDROOM APARTMENT WITH SETBACK BALCONY.

THE CODE COMPLIANCE DATA SHEETS A2.0 REPRESENTS FOR FULL COMPLIANCE WITH CURRENT MUNICIPAL CODE REGULATIONS.

#### PROJECT DESCRIPTION NTS 18

	NEW FULLY COMPLYING	UPGRADE TO COMPLYING	EQUIVALENT FACILITATION	REMARKS
ACCESSIBLE ENTRANCE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
ACCESSIBLE ROUTE TO AREA OF REMODEL	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NONE & NOT REQUIRED
ACCESSIBLE TELEPHONE	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
ACCESSIBLE RESTROOM FOR EACH SEX SERVING THE AREA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
PARKING	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SEE A1.0
ACCESSIBLE DRINKING FOUNTAIN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

#### ADA COMPLIANCE CHECKLIST NTS 19

**TENANT/OWNER:**  
CROATIVE  
335 MAIN ST.  
LOS ALTOS, CA 94022  
TEL: 650.469.0031  
CONTACT: IVAN MARGARETIC  
EMAIL: INVAN.NIKO50@GMAIL.COM

**ARCHITECTURAL DESIGNER:**  
ARCHESPACEGWSC  
354 FAIRVIEW WAY  
MILPITAS, CA 95035  
TEL: 408.933.3477  
FAX: 650.618.2694  
CONTACT: GARY WONG  
EMAIL: GWONG@ARCHESPACEGWSC.COM  
AOR: WILLIAM R. MAHAR C-7912

**GENERAL CONTRACTOR:**  
CROATIVE  
335 MAIN ST.  
LOS ALTOS, CA 94022  
TEL: 650.469.0031  
CONTACT: IVAN MARGARETIC  
EMAIL: INVAN.NIKO50@GMAIL.COM

BUILDING TYPE	VB FULLY SPRINKLERED
BUILDING DESCRIPTION:	4,517± SQUARE FEET
APN:	167-40-005
SITE AREA:	2,500± SQUARE FEET
AREA OF IMPROVEMENT:	2,500± SQUARE FEET
OCCUPANCY GROUP:	M/R3
FIRE PROTECTION:	SPRINKLERED
ACCESSIBLE ACCESS:	SEE 15/THIS SHEET
CURRENT BUILDING INFO	
BUILDING SIZE	1,875± SQUARE FEET
PROPERTY TYPE	COMMERCIAL
NO. STORIES	1 (ONE)

PROPOSED (UPDATED) BUILDING INFO	
BUILDING SIZE	4,517± SQUARE FEET
FIRST FLOOR	1,925± SQUARE FEET
SECOND FLOOR	2,118± SQUARE FEET
PROPERTY TYPE	MIXED-USE
NO. STORIES	2 (TWO)
SET BACK:	
FRONT	REQUIRED 0'-0" PROVIDED 0'-0"
BACK	0'-0" 0'-0"
SIDE LEFT	0'-0" 0'-0"
SIDE RIGHT	0'-0" 0'-0"

LOT COVERAGE	
LEVEL 1	85%
LEVEL 2	77%
FLOOR AREA RATIO (FAR)	
ALLOWED	2500/FLOOR
PROPOSED	1ST FLOOR .85 : 1.0 2ND FLOOR .77 : 1.0

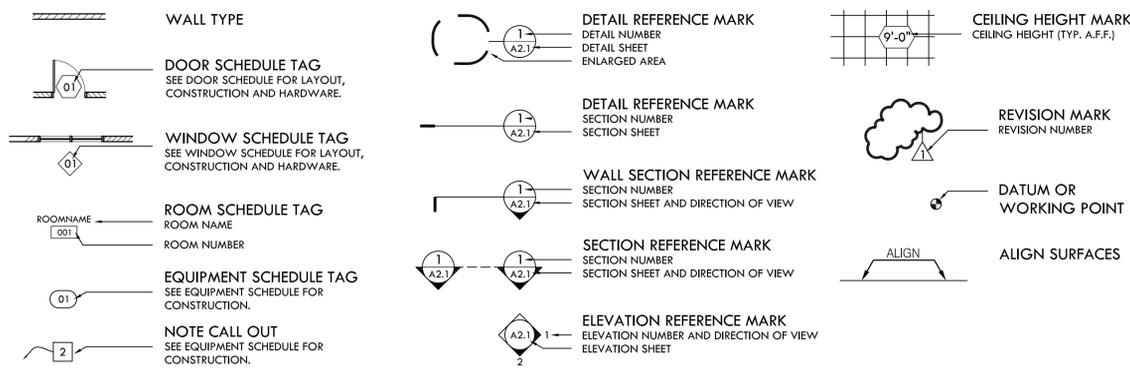
PARKING STALLS	
REQUIRED	2 (TWO)
PROVIDED	2 (TWO)

NOTE: WITH THE CITY REQUIREMENTS FOR STORM WATER REQUIREMENTS, THIS PROJECT SHALL ACCOMMODATE THE STORM WATER COMPLIANCE FOR IMPVIOUS AREA NEEDS.

IMPERVIOUS	100%
NUMBER OF (SECOND FLOOR)	
BEDS	2 (TWO)
STUDY	1
BATHROOM	2.5
KITCHEN	1
LIVING	1
ZONING SUMMARY	
CURRENT	DOWNTOWN COMMERCIAL
PROPOSED	MIXED USE
LEVEL 1	DOWNTOWN COMMERCIAL
LEVEL 2	RESIDENTIAL (APARTMENT)
HEIGHT	
CURRENT	18'-6"±
PROPOSED	27'-9"
ALLOWED	35'-0"
SEPARATION TO ADJACENT PROPERTY	
• 1 HR RATED ASSEMBLY WITH BLOCK WALLS	
• 30" PARAPET WALL AT ROOF LEVEL TO MEET CBC 2016	

&	AND	EA.	EACH	S.A.D.	SEE ARCHITECTURAL DOCUMENTS
@	AT	EC	EXISTING TO BE CAPPED	S.C.	SOLID CORE
ε	CENTERLINE	E.J.	EXPANSION JOINT	S.CHED.	SCHEDULE
∞	DEGREE	EL.	ELEVATION	S.A.	SOAP DISPENSER
∅	DIAMETER	ELC.	ELECTRICAL	SECT.	SECTION
±	PLUS OR MINUS	ELEV.	ELEVATOR	SECT.	SECRETARY
#	FOUND OR NUMBER	EMER.	EMERGENCY	S.E.D.	SEE ELECTRICAL DOCUMENTS
⊥	PERPENDICULAR	ENCL.	ENCLOSURE	S.F.	SQUARE FEET
		ER	EXISTING TO REMAIN	SHT.	SHEET
		EQ.	EQUAL	SIM.	SIMILAR
		EQT.	EQUIPMENT	S.M.D.	SEE MECHANICAL DOCUMENTS
		EWC	ELECTRIC WATER COOLER	S.N.D.	SANITARY NAPKIN DISPENSER
		(E) or EXIST.	EXISTING	SP.	SPEAKER
		EXT.	EXTERIOR	S.S.D.	SEE STRUCTURAL DOCUMENTS
		F.A.	FIRE ALARM	S.STL	STAINLESS STEEL
		F.D.	FLOOR DRAIN	STD.	STANDARD
		FDN.	FOUNDATION	STL.	STEEL
		F.A.	FIRE EXTINGUISHER	STRL.	STRUCTURAL
		F.A.C.	FIRE EXTINGUISHER CAB.	SUSP.	SUSPENDED
		F.H.C.	FIRE HOSE CABINET	SYM.	SYMMETRICAL
		FIN.	FINISH	T.	TREAD
		FIXT.	FIXTURE	T.B.	TOWEL BAR
		FL.	FLOOR	T.C.	TOP OF CURB
		FLUOR.	FLUORESCENT	TEL.	TELEPHONE
		F.O.	FACE OF	TEMP.	TEMPORARY
		F.O.C.	FACE OF CONCRETE	THRES.	THRESHOLD
		F.O.F.	FACE OF FINISH	T.O.C.	TOP OF CONCRETE
		F.O.S.	FACE OF STUDS	T.P.D.	TOILET PAPER DISPENSER
		FT.	FOOT, FEET	TYP.	TYPICAL
		FURR.	FURRING	U.O.N.	UNLESS OTHERWISE NOTED
		G.A.	GAUGE	UR.	URINAL
		GAL.	GALLON	UTIL.	UTILITY
		GALV.	GALVANIZED	V	VOLTS
		GAR.	GARAGE	VCT	VINYL COMPOSITION TILE
		G.B.	GRAB BAR	VERT.	VERTICAL
		G.C.	GENERAL CONTRACTOR	VEST.	VESTIBULE
		GL.	GLASS	V.I.F.	VERIFY IN FIELD
		GND.	GROUND	VOL.	VOLUME
		GR.	GRADE	W/	WITH
		GYP.	GYP SUM	W.C.	WATER CLOSET
		GYP. BD.	GYP SUM BOARD	WOOD	WOOD
		H.B.	HOSE BIBB	WH.	WATER HEATER
		H.C.	HOLLOW CORE	W/O	WITHOUT
		HDR.	HEADER	WP.	WATERPROOF
		HDWD.	HARDWOOD	W.R.	WATER RESISTANT
		HDWE.	HARDWARE	WT.	WEIGHT
		HGT.	HEIGHT	YD.	YARD
		H.H.	HOLLOW METAL		
		HORIZ.	HORIZONTAL		
		HR.	HOUR		
		HVAC	HEATING, VENTILATION, AIR CONDITIONING		
		H.W.	HOT WATER		
		I.D.	INSIDE DIAMETER		
		IN.	INCH		
		INCL.	INCLUDING		
		INSUL.	INSULATION		
		INT.	INTERIOR		
		LAM.	LAMINATE		
		LAV.	LAVATORY		
		LB.	POUND		
		L.F.	LINEAR FEET		
		LT.	LIGHT		
		MATL.	MATERIAL		
		MAS.	MASONRY		
		MAX.	MAXIMUM		
		MDF	MEDIUM DENSITY FIBER BOARD		
		MECH.	MECHANICAL		
		MTL.	METAL		
		MFRG.	MANUFACTURER		
		MIN.	MINIMUM		
		MIR.	MIRROR		
		MISC.	MISCELLANEOUS		
		M.O.	MASONRY OPENING		
		MTD.	MOUNTED		
		MUL.	MULLION		
		N.	NORTH		
		N.I.C.	NOT IN CONTRACT		
		NO., #	NUMBER		
		NOM.	NOMINAL		
		N.T.S.	NOT TO SCALE		
		(N)	NEW		
		O.A.	OVERALL		
		OBS.	OBSOLETE		
		O.C.	ON CENTER		
		O.D.	OUTSIDE DIAMETER		
		OFF.	OFFICE		
		OPNG.	OPENING		
		OPP.	OPPOSITE		
		OZ.	OUNCE		
		PART.	PARTICLE		
		P.LAM	PLASTIC LAMINATE		
		PLAST	PLASTER		
		PLYWD.	PLYWOOD		
		PR.	PREFABRICATED		
		PREFAB.	POINT		
		PT.	PAPER TOWEL DISPENSER		
		P.T.D.	PARTITION		
		PVMT.	PAVEMENT		
		R.	RISER		
		RAD.	RADIUS		
		R.D.	ROOF DRAIN		
		RDWD.	REDWOOD		
		REF.	REFERENCE		
		REFR.	REFRIGERATOR		
		REINF.	REINFORCED		
		REQD.	REQUIRED		
		REV.	REVISED, REVISION		
		RM.	ROOM		
		R.O.	ROUGH OPENING		

#### ABBREVIATIONS NTS 7



#### SYMBOL LIST NTS 8

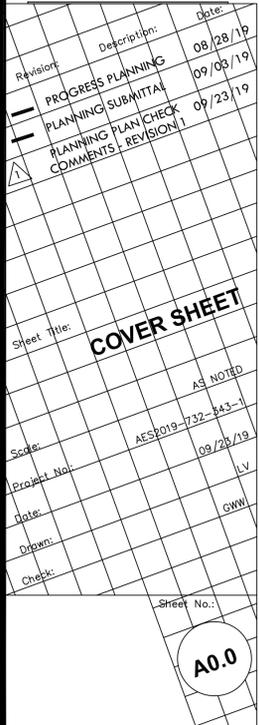
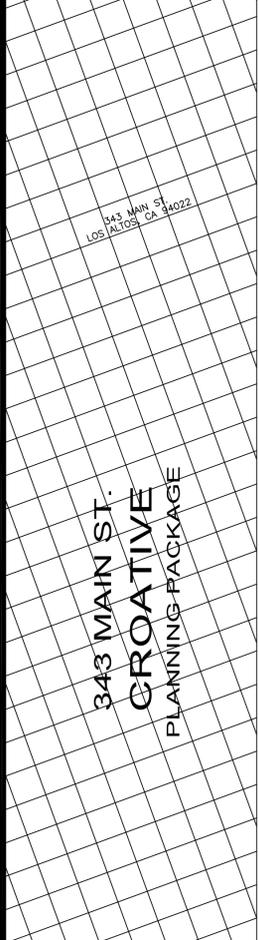
#### ARCHITECTURAL DRAWINGS

A0.0	COVER SHEET
A1.0	SITE PLAN, KEYNOTES & LEGEND
A1.0.1	SITE REFERENCE PHOTO, PHOTOS SURROUNDING NEIGHBORHOOD
A1.1	EXISTING FLOOR PLAN & LEGEND
A2.0	CODE COMPLIANCE
A2.1	PROPOSED FLOOR PLAN, KEYNOTES & LEGEND
A2.2	PROPOSED REFLECTED CEILING PLAN, KEYNOTES & LEGEND
A2.4	PROPOSED ROOF PLAN & KEYNOTES
A5.1	PROPOSED EXTERIOR ELEVATIONS & PRODUCT SPECIFICATIONS
A5.2	PROPOSED BUILDING SECTION; EXTERIOR ELEVATIONS, EXTERIOR RENDERING & KEYNOTES
SK-1	FINISH SPECIFICATIONS
SK-2	FINISH SPECIFICATIONS

#### SURVEY DRAWINGS

SV-1	SURVEYOR DOCUMENT
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#### DRAWING INDEX NTS 4

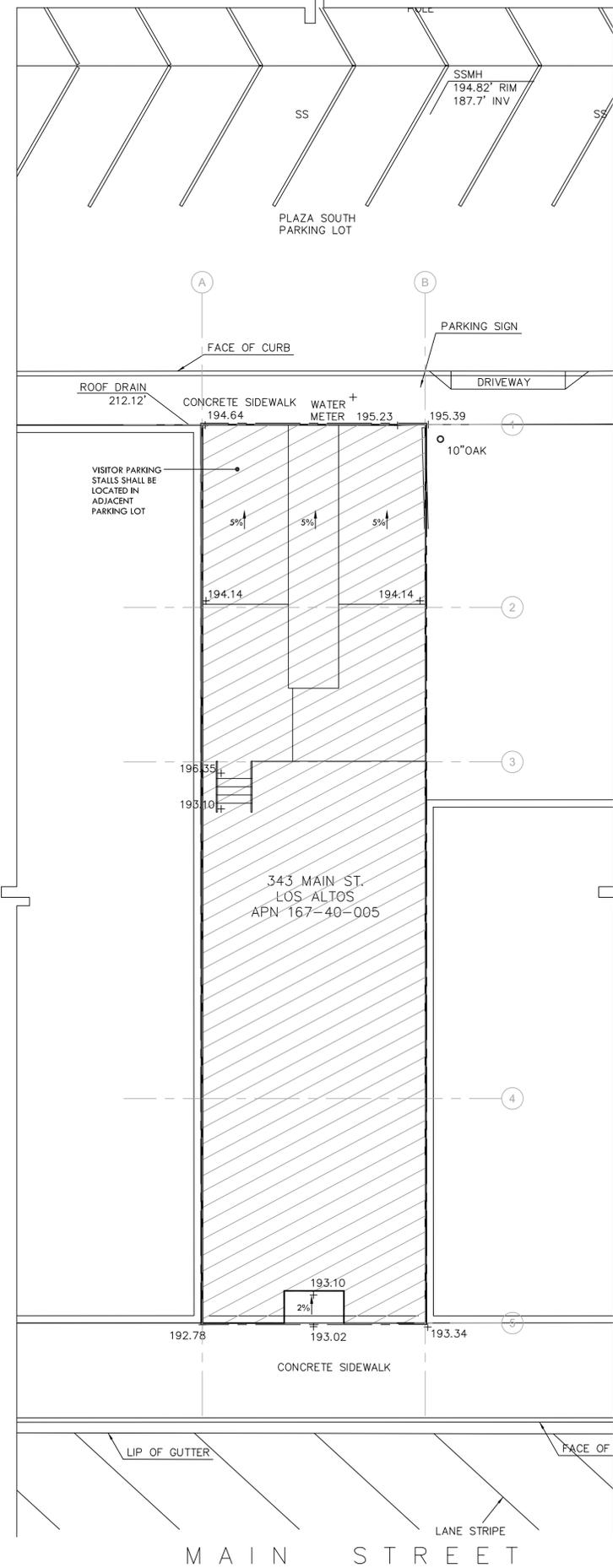


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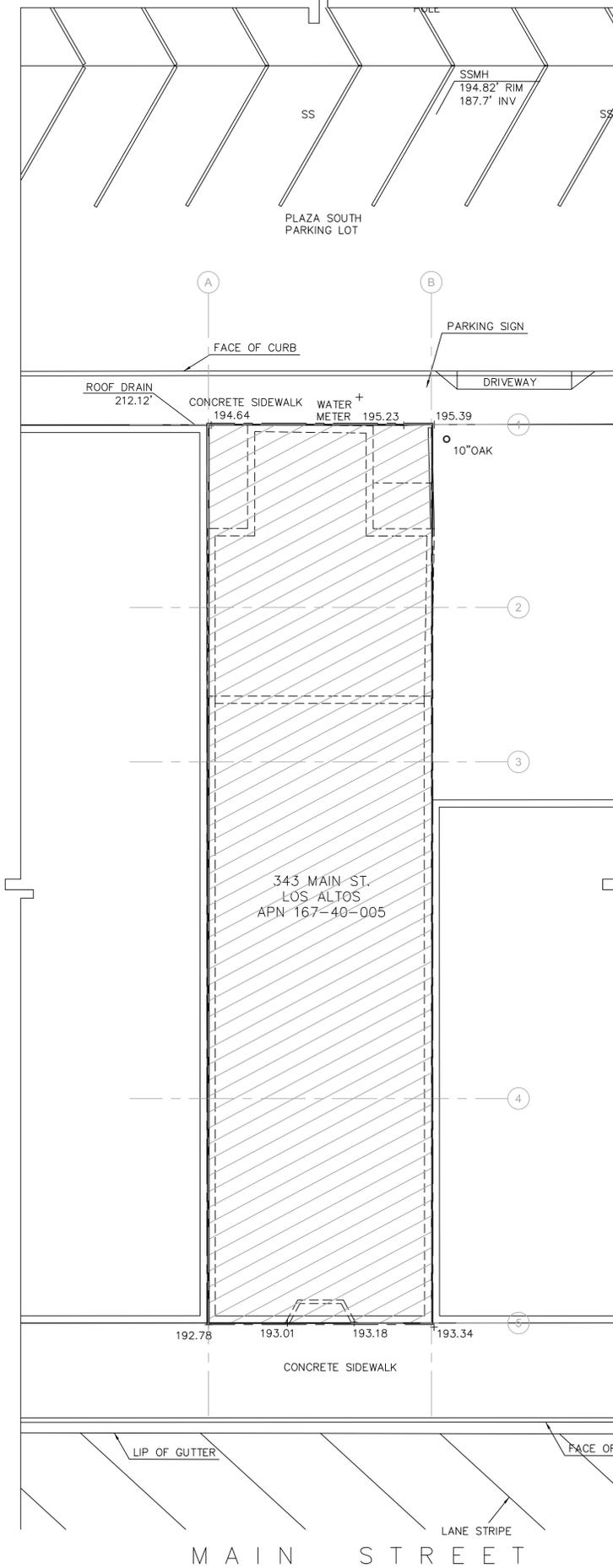
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NTS (18)

NOT USED  
NTS (19)

NOT USED  
NTS (20)



PROPOSED SITE PLAN  
1/8" = 1'-0" (12)



EXISTING SITE PLAN  
1/8" = 1'-0" (4)

343 MAIN ST  
LOS ALTOS, CA 94022

343 MAIN ST.  
CREATIVE  
PLANNING PACKAGE



DESIGN BEYOND THE BOX

Revision	Description	Date
	PROGRESS PLANNING	08/27/19
	PLANNING SUBMITTAL	09/05/19
	PLANNING PLAN CHECK	09/23/19
	COMMENTS REVISION 1	

Sheet Title:	SITE PLAN
Scale:	AS NOTED
Project No.:	AES2019-732-343-1
Date:	09/28/19
Drawn:	LV
Check:	GWJ
Sheet No.:	A1.0



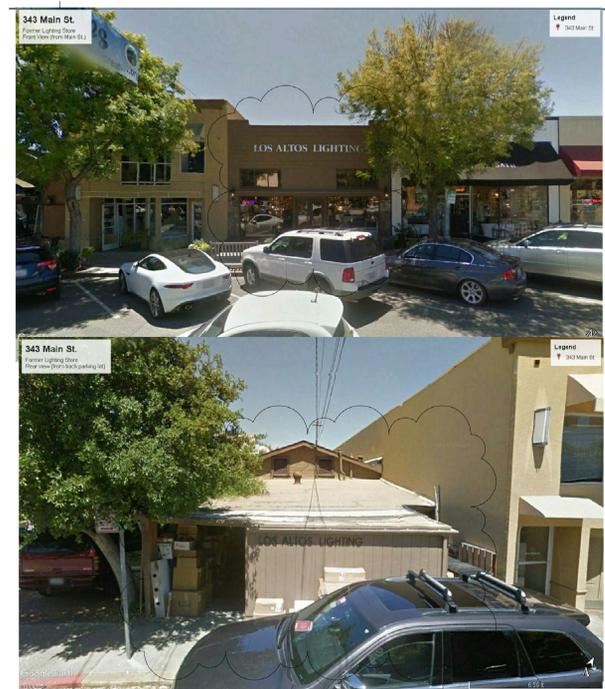
PHOTO H  
NTS (13)



PHOTO D  
NTS (5)



PHOTO A  
NTS (1)



CURRENT CONDITIONS  
NTS (15)



PHOTO E  
NTS (6)



PHOTO B  
NTS (2)



PHOTO F  
NTS (7)



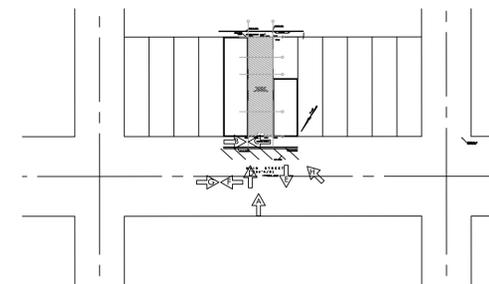
PHOTO C  
NTS (3)



VICINITY MAP  
NTS (16)



PHOTO G  
NTS (8)



KEY MAP  
NTS (4)

NOT USED  
NTS (20)

343 MAIN ST.  
LOS ALTOS, CA 94022

343 MAIN ST.  
CREATIVE  
PLANNING PACKAGE

archespace  
GWSC  
354 FAIRVIEW WAY  
MILPITAS CA 95035  
408 932 3477  
650 618 2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	PLANNING PROGRESS	08/28/19
2	PLANNING SUBMITTAL	09/05/19

Sheet Title: **EXISTING EXTERIOR PHOTOS**

Scale: AS NOTED

Project No.: AES2019-732-343-1

Date: 09/28/19

Drawn: LV

Checked: GWL

Sheet No.: A1.0.1

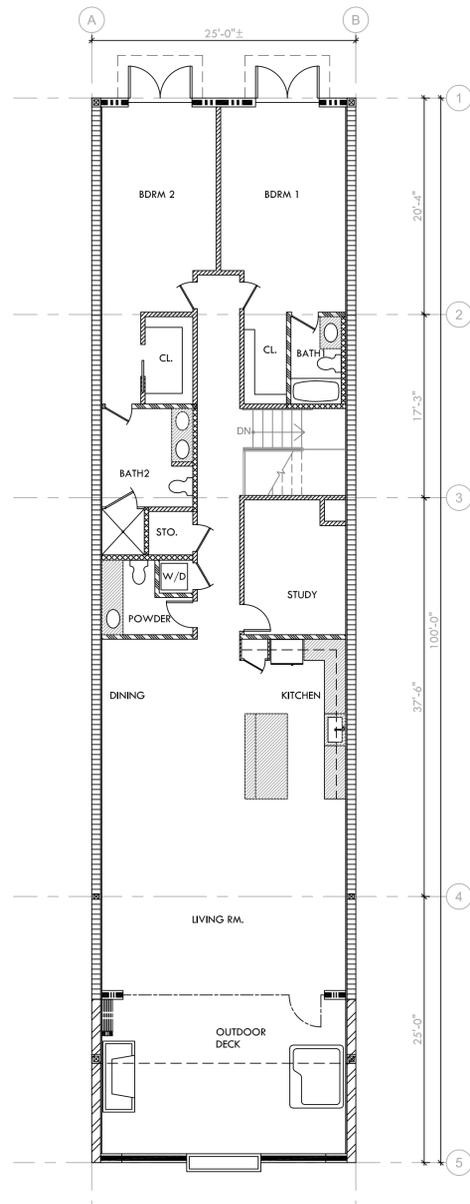


NOT USED  
NTS 17

NOT USED  
NTS 18

NOT USED  
NTS 19

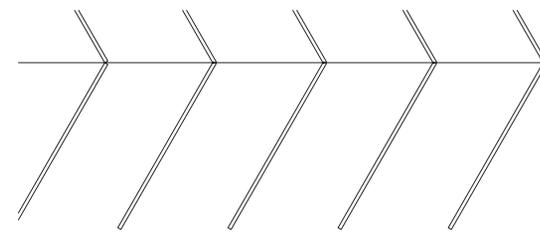
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NTS 20



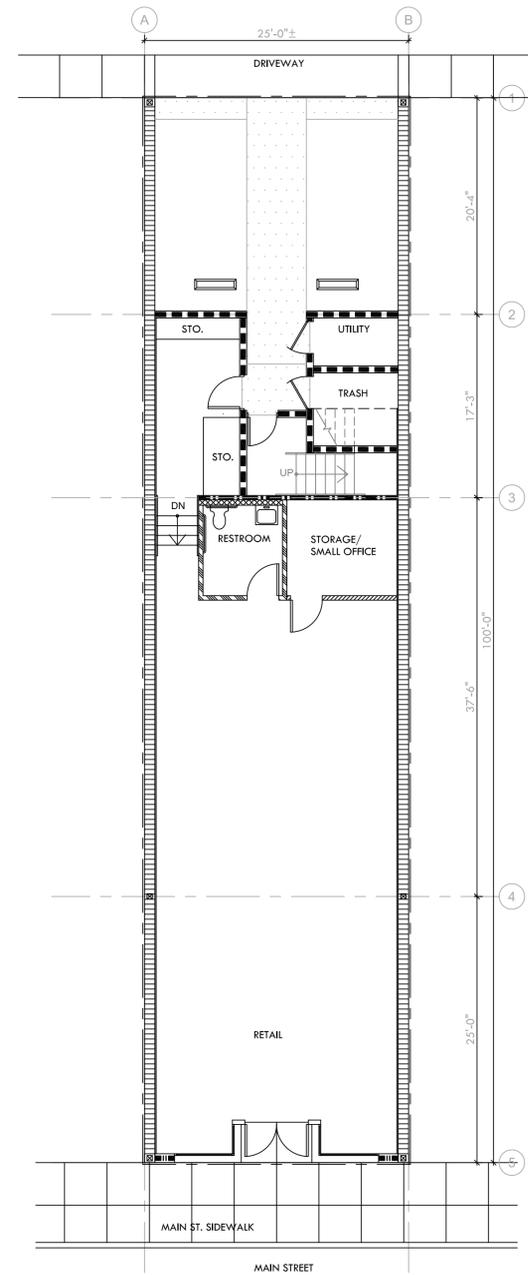
SECOND FLOOR - EXITING PLAN  
1/8" = 1'-0" 11

NOT USED  
NTS 16

NOT USED  
NTS 12



PLAZA SOUTH  
PARKING LOT



FIRST FLOOR - EXITING PLAN  
1/8" = 1'-0" 3

NOT USED  
NTS 8

LEGEND:

--- PROPERTY LINE

LEGEND  
NTS 4

343 MAIN ST.  
LOS ALTOS, CA 94022

343 MAIN ST.  
CREATIVE  
PLANNING PACKAGE



archespace  
GWSC  
354 FAIRVIEW WAY  
MILPITAS CA 95035  
408 933 3477  
650 618 2694

DESIGN BEYOND THE BOX

Revision	Description	Date
1	PLANNING PROGRESS	08/28/19
2	PLANNING SUBMITTAL	09/08/19
3	PLANNING PLAN CHECK	09/23/19
4	COMMENTS REVISION 1	

Sheet Title:  
**CODE COMPLIANCE**

Scale: AS NOTED  
Project No: AES2019-732-343-1  
Date: 09/28/19  
Drawn: LV  
Checked: GWL

Sheet No.:  
**A2.0**

**KEYNOTES:**

**FLOOR:**

- 1A (E) SIDEWALK TO REMAIN WITH (E) SLOPE. WHERE ENTRY ALCOVE OCCURS, PROVIDE (N) LANDING AT INSET WITH 2% SLOPE MAX. AWAY FROM ENTRY DOORS. MAX DIFFERENCE IN HT. TO BE 1/2" AT THRESHOLD. FINISH TO MATCH SIDEWALK CONCRETE COLOR.
- 1B (N) DOOR THRESHOLD ADA COMPLIANT WITH MAX. 1/2" HT. DIFFERENTIAL.
- 1C 6" SLAB WITH PERIMETER FOUNDATION BELOW CONCRETE MASONRY WALLS. STRUCTURAL TBD.
- 1D CONCRETE STAIRS POURED IN PLACE. (RISE: 7"; RUN: 11")
- 1E (N) RETAINING WALL WITH CONCRETE POUR IN PLACE TO RETAIN EARTH AT REAR OF RESTROOM AND STORAGE/SMALL OFFICE TO HT. OF 4'-0" HT. A.F.F.
- 1F UPPER 6" CONCRETE SLAB WITH PERIMETER FOUNDATION BELOW ALL CONCRETE MASONRY BLOCK WALL. TYPICAL IN UTILITY, TRASH, ALCOVE AND STAIR. PROVIDE 4" CURB BELOW CONCRETE MASONRY BLOCK WALL AND ALIGN WITH BLOCK.
- 1G AT PARKING AREA, PROVIDE 2% SLOPING TOWARDS REAR OF LOT WITH POUR IN PLACE 6" CONCRETE SLAB AND GRADE BEAM AT PROPERTY LINES. STAMP CONCRETE PATTERN PER FINISH SPEC.
- 1H AT WALKWAY PROVIDE 4" CONCRETE SLAB WITH STONE PAVERS FROM REAR LOT LINE TO ENTRY TO RESIDENTIAL UNIT. SEE FINISH SPEC FOR MATERIAL SURFACE TO ALIGN WITH ADJ. CONCRETE.
- 1I (N) 6" PARKING STOPS. LENGTH: 4'-0", TYP. OF 2.
- 1J (E) ASPHALT PARKING LOT TO REMAIN. PROVIDE MODIFICATION TO ASPHALT AS REQUIRED TO MATCH UP CONCRETE AND STONE ACCENT TO EDGE.
- 1K (N) FINISH FLOOR. TBD.
- 1L THROUGHOUT SPACE, PREPARE WALL SURFACE FOR (N) RUBBER BASE. BASE TO BE INSTALLED WITHOUT GAP BETWEEN FINISHED FLOOR AND BASE, TYP.
- 1M THROUGHOUT SPACE ON 2ND FLOOR PREPARE WALL SURFACE FOR (N) WOOD BASE. BASE TO BE INSTALLED WITHOUT GAP BETWEEN FINISHED FLOOR AND BASE, TYP.
- 1N WHERE TRANSITION BETWEEN FLOOR SURFACES OCCUR, PROVIDE MAX OF 1/2" HT. DIFFERENTIAL TRANSITION STRIP (CONTINUOUS), TYP.
- 1O TRANSITIONS AT DOORS SHALL OCCUR AT CENTERLINE OF DOOR, TYP.
- 1P AT ENTRANCE TO BUILDINGS, MAINTAIN 3/4" MAX. DIFFERENTIAL BETWEEN SURFACE, TYP.
- 1Q AT (N) STAIRS, PROVIDE (N) FINISH TREAD SURFACE WITH REQUIRED CONTRASTING STRIPS PER CODE.
- 1R (N) VINYL COMPOSITION TILE TO BE INSTALLED OVER (E) CONCRETE SLAB. CONTRACTOR TO GRIND DOWN AND REMOVE ALL RESIDUAL ADHESIVE AND LEVEL SURFACE FOR LEVEL AND SMOOTH SUBSTRATE. PREPARE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATION. SEE SHEET A2.3 FOR ADDITIONAL INFORMATION.
- 1S AT (N) RESTROOMS, (N) CERAMIC TILE ON THIN SET MORTAR TO BE INSTALLED ON CONCRETE SLAB, PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. CONFIRM 1/4" PER SLOPE TO FLOOR DRAIN IS ACHIEVED PRIOR TO INSTALLATION. TOP SURFACE OF TILE TO SLOPE SMOOTHLY TO FLOOR DRAIN. ALL TILE TRANSITIONS TO BE MAX. 1/2" DIFFERENTIAL WITH ADJ. SURFACES. SEE SHEET A2.3 FOR ADDITIONAL INFORMATION.
- 1T (N) SEALED CONCRETE FLOOR (POLISHED AND SEALED). TO BE SAME HT.
- 1U (N) CONCRETE ADA LANDING TO CONNECT TO SIDEWALK SLOPE WITH TILE FLOOR FINISH.

**WALLS:**

- 2A (N) EXTERIOR CONCRETE MASONRY WALL TO 11'-0" HT. A.F.F.
- 2B (N) TUBE STEEL BUILDING COLUMN.
- 2C (N) NON RATED WOOD PARTITIONS TO UNDERSIDE OF 11'-0" HT. CEILING.
- 2D (N) CONCRETE MASONRY WALL TO ROOF FRAMING ON 2ND FLOOR.
- 2E (N) 1 1/2" WALL FURRING AT INTERNAL WALL SURFACE OF CONCRETE MASONRY WALL.
- 2F (N) WOOD SHEET WALL WITH PLYWOOD FRAMING.
- 2G (N) WET WALLS.
- 2H (N) TOILET ROOM PLUMBING WALLS.
- 2I (N) STONE BASE ALONG FRONT.
- 2J (N) EXTERIOR WOOD FRAME WALL.
- 2K (N) MOMENT FRAME.
- 2L LOW EXTERIOR WOOD FRAME WALL TO 42" HT. A.F.F. SEE EXTERIOR ELEVATION FOR ADDITIONAL INFORMATION.
- 2M CMU WALL WITH FURRING. LOW WALL. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.

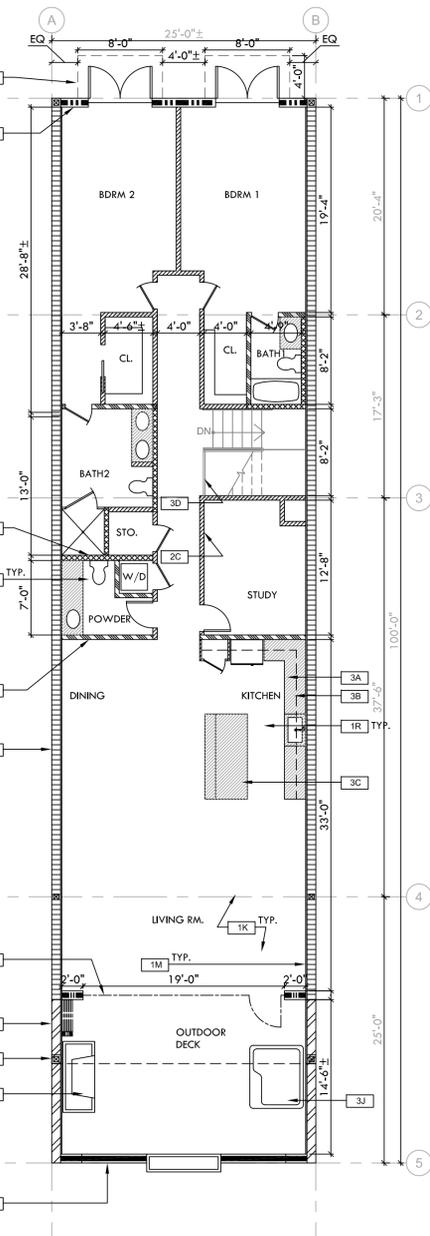
**MISCELLANEOUS:**

- 3A (N) MILLWORK LOWER BASE CABINET.
- 3B (N) MILLWORK UPPER BASE CABINET.
- 3C (N) FREE STANDING MILLWORK ISLAND.
- 3D (N) GUARDRAIL W/ MAX 6'-0" APART. 2" TOP RAIL.
- 3E (N) JULIET BALCONY.
- 3F (N) MECHANICAL SHAFT.
- 3G (N) REMOVABLE STORAGE RACK.
- 3H (N) STAIRS. WOOD FRAME STAIR TREAD AND RISERS WITH WOOD STRINGERS AND METAL HANDRAILS ON BOTH SIDES.
- 3I (N) FIREPLACE.
- 3J (N) HOT TUB.
- 3K (N) EXTERIOR PLANTER.

**DOORS & WINDOWS:**

- 4A STOREFRONT ENTRY DOORS TO MEET 10" MIN. FLAT SURFACE AT BASE OF DOOR. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION, TYP.
- 4B (N) INTERIOR DOOR, FRAME & HARDWARE. SEE DOOR SCHEDULE FOR ADDITIONAL INFO.
- 4C (N) SLIDING GLASS DOOR AND WINDOW SYSTEM. MANUFACTURER: NANAWALL MODEL: HSW66 SINGLE TRACK SLIDING SYSTEM
- 4E NOT USED
- 4F (N) EXTERIOR WINDOW GLAZING SYSTEM.

**KEYNOTES** (20)  
NTS

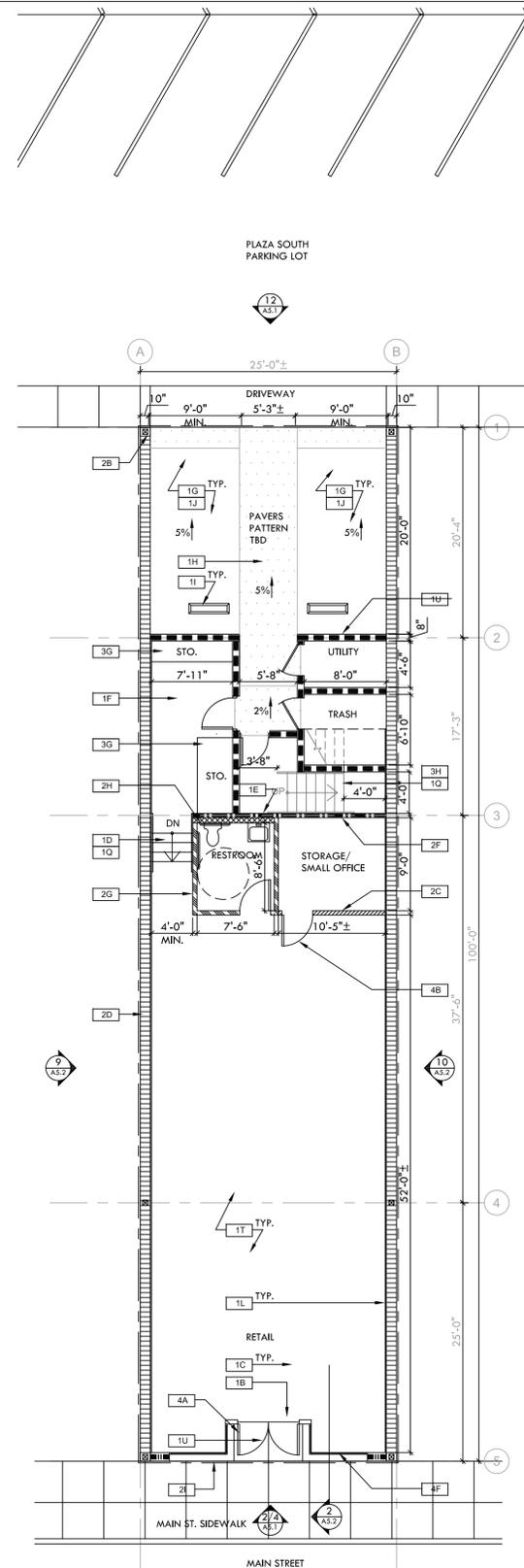


**SECOND FLOOR - PROPOSED FLOOR PLAN** (11)  
1/8" = 1'-0"

**LEGEND:**

- |  |  |  |  |  |   |
|--|--|--|--|--|---|
|  | CONCRETE MASONRY WALL TO 11'-0" HT. A.F.F.                   |  | WET WALLS                                      |  | CMU WALL WITH FURRING. LOW WALL TO 42" HT. A.F.F. |
|  | CONCRETE MASONRY WALL TO ROOF FRAMING ON 2ND FLOOR           |  | TOILET ROOM PLUMBING WALL                      |  | EXTERIOR WOOD FRAME WALL                          |
|  | NON RATED WOOD PARTITIONS TO UNDERSIDE OF 11'-0" HT. CEILING |  | 1 1/2" FURRING AT INTERNAL WALL SURFACE OF CMU |  | EXTERIOR WOOD FRAME WALL TO 42" HT. A.F.F.        |
|  | WOOD SHEET WALL WITH PLYWOOD FRAMING                         |  | PROPERTY LINE                                  |  |   |

**NOT USED** (16)  
NTS



**FIRST FLOOR - PROPOSED FLOOR PLAN** (3)  
1/8" = 1'-0"

- |  |                  |
|--|------------------|
|  | KEYNOTES         |
|  | GENERAL KEYNOTES |
|  | EXISTING         |
|  | RELOCATED        |
|  | NEW              |

**LEGEND** (4)  
NTS

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408 932 3477  
650 618 2694

**DESIGN BEYOND THE BOX**

Revision: Description: Date:

PLANNING PROGRESS 08/28/19

PLANNING SUBMITTAL 09/09/19

PLANNING PLAN CHECK 09/23/19

COMMENTS: REVISION 1

Sheet Title: **PROPOSED FLOOR PLAN, KEYNOTES & LEGEND**

Scale: AS NOTED

Project No. AES2019-732-343-1

Date: 09/28/19

Drawn: LV

Checked: GWL

Sheet No.: **A2.1**

KEYNOTES:

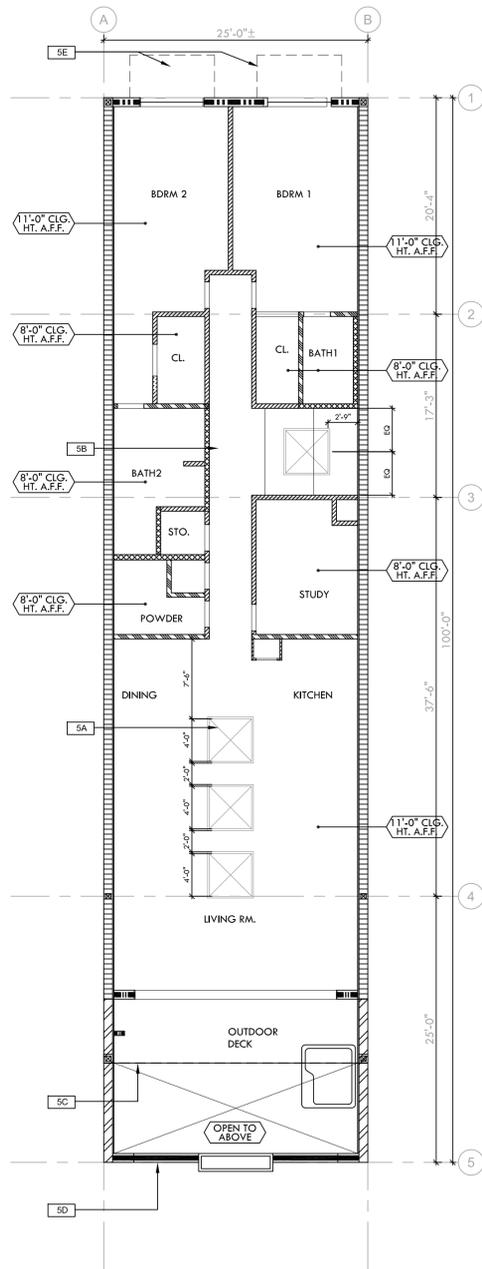
CEILING:

- [5A] (N) FIXED POLY CARBONATE DOME FIXED SKYLIGHT AND INSTALLED ON CURBE WITH ADEQUATE FLASHING, TYP.
- MANUFACTURER: VELUX USA  
MODEL: 120120 TYP.  
SIZE: 48"X48"
- [5B] METAL AND GLASS AWNING SYSTEM. 6'-0" EXTENSION TO MATCH EXTENSION OF ADJ. AWNINGS. METAL 6" TUBE STEEL WITH 2" TUBE STEEL RETURN ONTO BUILDING WITH TEMPERED GLASS COVER.
- [5C] LINE OF OVERHANG TO BALCONY
- [5D] LINE OF BALCONY RAIL WALL BELOW FOR REFERENCE.
- [5E] LINE OF JULIETTE BALCONIES BELOW.
- [5F] LIGHTING LAYOUT TO BE DETERMINED IN BUILDING PERMIT APPLICATION FOR ALL INTERIOR SPACES.
- [5G] (N) EXTERIOR WALL SCONCES.
- [5H] (N) CONCEALED RECESSED DOWN LIGHTS IN STUCCO CEILING, TYP.
- [5I] DOWN LIGHTS IN SOFFIT FOR ILLUMINATION OF ALCOVE.
- [5J] STUCCO SOFFIT AT 9'-0" HT. A.F.F. ALIGN WITH FACE OF STONE ABOVE WINDOWS WITH FACE OF SOFFIT.

KEYNOTES  
NTS 18

NOT USED  
NTS 19

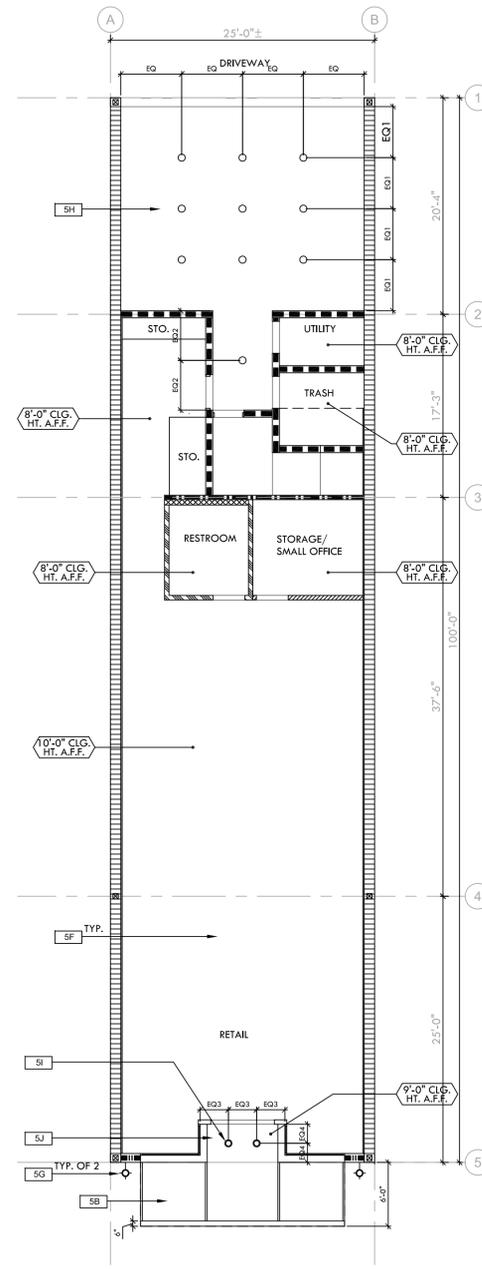
NOT USED  
NTS 20



SECOND FLOOR - PROPOSED REFLECTED CEILING PLAN  
1/8" = 1'-0" 11

NOT USED  
NTS 16

NOT USED  
NTS 12



FIRST FLOOR - PROPOSED REFLECTED CEILING PLAN  
1/8" = 1'-0" 3

NOT USED  
NTS 8

LEGEND  
NTS 4

LEGEND:

-  SKYLIGHT
-  RECESSED LIGHT FIXTURE (LED)
-  KEYNOTES
-  GENERAL KEYNOTES
-  EXISTING
-  RELOCATED
-  NEW

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DESIGN BEYOND THE BOX

Revision	Description	Date
PLANNING PROGRESS		08/28/19
PLANNING SUBMITTAL		09/03/19

Sheet Title: PROPOSED REFLECTED CEILING PLAN  
KEYNOTES & LEGEND  
Scale: AES019-732-443-1  
Project No.: 09/28/19  
Date: L.V.  
Drawn: CWW  
Check: CWW

A2.2

KEYNOTES:

ROOF:

- 6A ROOF DRAIN WITH STRAINER TYP. AT LOW POINT TO ROOF.
- 6B LINE OF STONE WALL BELOW, TYP.
- 6C NOT USED
- 6D 1/4" PER FOOT SLOPE ROOF. BUILT UP ROOF SYSTEM.
- 6E (N) 1 HR RATED PARAPET WALL. HT.: 30" HT. MIN. ABOVE ROOF PLANE.
- 6F (N) FIXED POLY CARBONATE DOME FIXED SKYLIGHT AND INSTALLED ON CURBE WITH ADEQUATE FLASHING, TYP.  
MANUFACTURER: VELUX USA  
MODEL: 120120 TYP.  
SIZE: 48"X48"
- 6G NOT USED
- 6H STONE CAP. FOAM FORMED WALL CAP TO BE INSTALLED ON FACE ON STONE WALL FACADE, TYP.
- 6I JULIETTE BALCONIES AT SECOND LEVEL, TYP.
- 6J PLUMBING VENT PIPES THROUGH ROOF TO 24" HT. ABOVE, TYP.
- 6K CRICKETS TO DIVERT RAINWATER RUN OFF TO ROOF DRAIN.
- 6L CONCRETE MASONRY PARAPET WALL (80" ABOVE ROOF) BUILT UP ROOF SYSTEM AND FLASHING TO RUN UP WALL.
- 6M COOL ROOF ASSEMBLY INSTALLED WITH ADEQUATE RIGID FAN BOARDS FOR DRAINAGE AT 1/4" = 1'-0".
- 6N ROOF DECK AT SECOND FLOOR LEVEL.
- 6O STONE WALL OF DECK ABOVE.
- 6P STONE PREFABRICATED FLOWER PLANTER BOX.
- 6Q OVERFLOW RAIN OUTLET, TYP.
- 6R ROOF HATCH WITH WATERPROOF FLASHING.
- 6S ROOF TOP MECHANICAL UNIT. ESTIMATED 7.5 TON UNIT.
- 6T ROOF WALKWAY MATS OVER COOL ROOF SYSTEM.

KEYNOTES  
NTS 18

NOT USED  
NTS 19

NOT USED  
NTS 20

NOT USED  
NTS 13

NOT USED  
NTS 14

NOT USED  
NTS 15

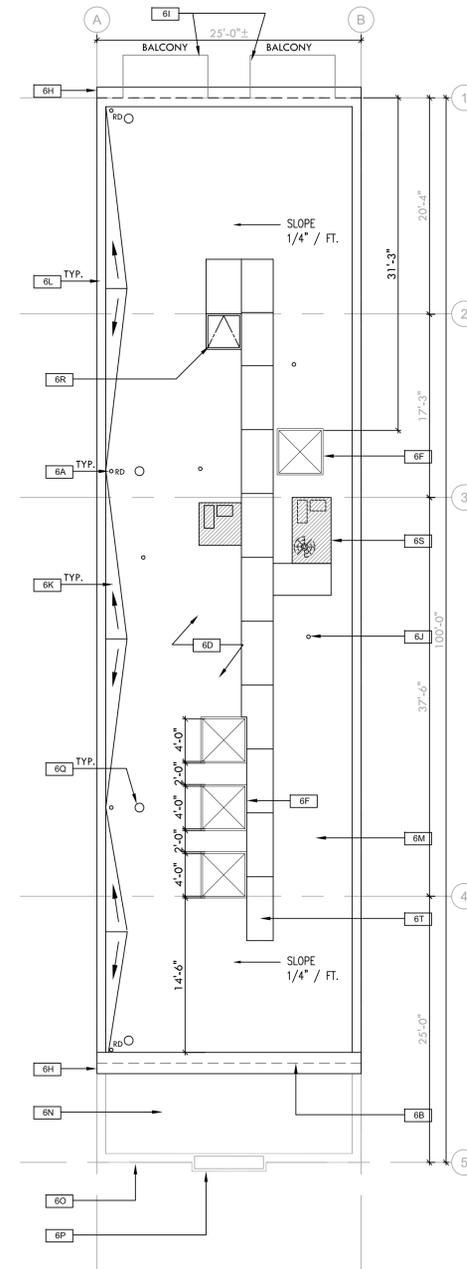
NOT USED  
NTS 16

NOT USED  
NTS 9

NOT USED  
NTS 10

NOT USED  
NTS 11

NOT USED  
NTS 12



ROOF PLAN  
1/8" = 1'-0" 3

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DESIGN BEYOND THE BOX

Revision	Description	Date
—	PLANNING PROGRESS	08/28/19
—	PLANNING SUBMITTAL	09/03/19

Sheet Title: PROPOSED ROOF PLAN & KEYNOTES  
 Scale: AS NOTED  
 Project No: AES2019-732-343-1  
 Date: 09/28/19  
 Drawn: LV  
 Check: GWW

A2.4

**FLOOR:**

- F-1 STONE FLOOR TILE ENTRY ALCOVE.  
CLIENT PROVIDED  
STYLE: TEXTURED / SMOOTH EDGE  
COLOR: BEIGE/WHITE
- F-2 STONE FLOOR TILE 2 REAR PARKING  
WALKWAY  
TYPE: CONCRETE  
STYLE: STAMPED STONE  
COLOR: BEIGE/WHITE

**WALL:**

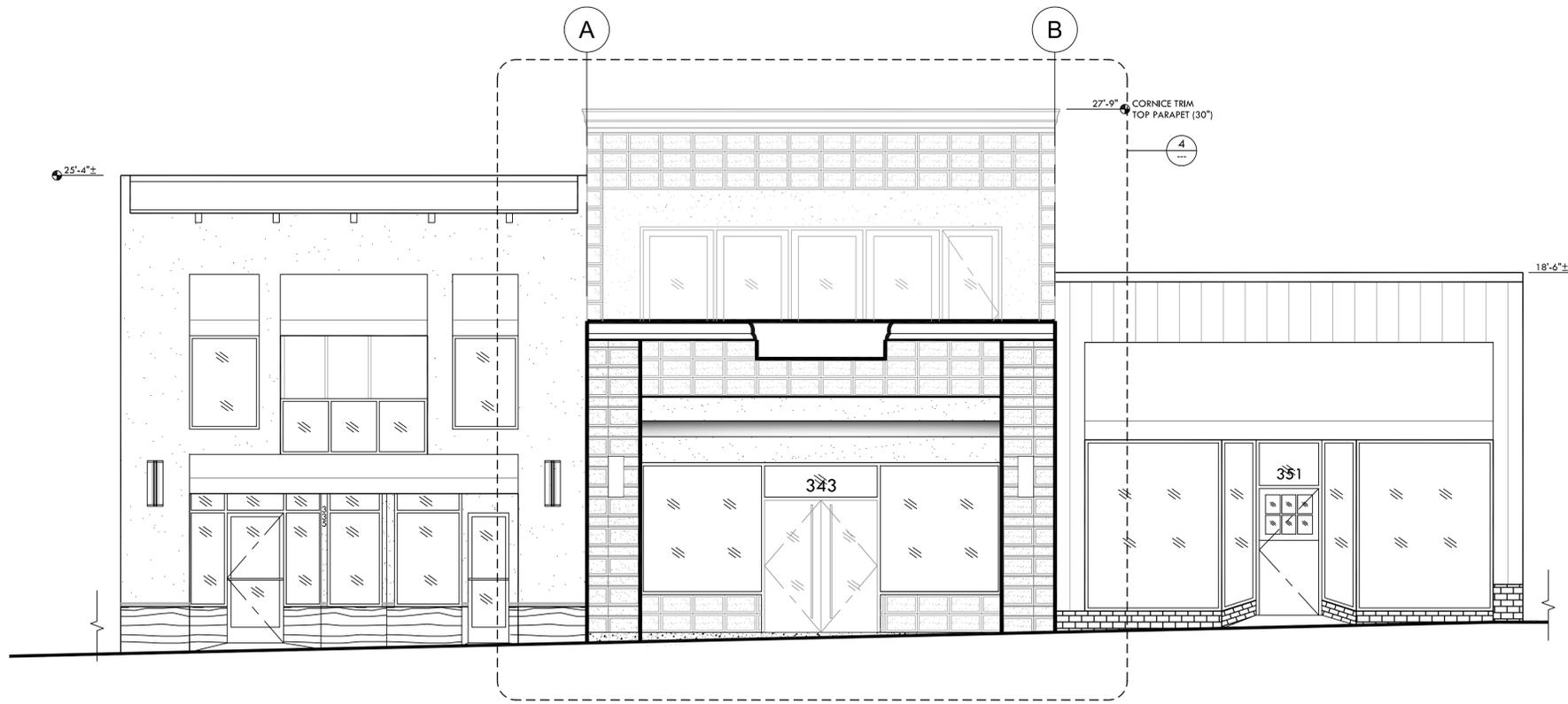
- S-1 STUCCO  
STYLE: SANTA BARBARA  
FINISH: SMOOTH TEXTURE  
COLOR: SEE P-1
- SC-1 STONE CAP  
CLIENT PROVIDED  
STYLE: POLYURETHENE  
FINISH: TEXTURED PAINTED  
COLOR: SEE P-2
- SC-2 STONE CAP 2  
CLIENT PROVIDED  
STYLE: POLYURETHENE  
FINISH: TEXTURED PAINTED  
COLOR: SEE P-2
- FS-1 FIELD STONE:  
CLIENT PROVIDED  
STYLE: NATURAL STONE BEIGE  
FINISH: TEXTURED SMOOTH EDGES  
COLOR: BEIGE
- FS-2 FIELD STONE: ACCENT TILE  
CLIENT PROVIDED  
STYLE: NATURAL STONE  
FINISH: TEXTURED/SMOOTH EDGES  
COLOR: BEIGE
- ST-1 STONE TRIM REAR DOORS  
MANUFACTURER: TBD  
STYLE: NATURAL STONE  
FINISH: SMOOTH  
COLOR: BEIGE

**DOOR & GLAZING SYSTEM:**

- GL-1 STOREFRONT GLAZING SYSTEM WITH  
TEMPERED GLASS AND GLAZING ASSEMBLY  
MANUFACTURER: KAWNEER  
STYLE: TRIFAB 400
- GL-2 HERCULITE DOOR ASSEMBLY  
MANUFACTURER: HERCULITE  
DOOR: STYLE: TEMPERED GLASS CLEAR  
COLOR: CLEAR  
FRAME: POWDER COATED (COLOR: TBD)
- GL-3 OPERABLE FOLDING DOOR SYSTEM  
MANUFACTURER: NANAWALL SYSTEMS  
STYLE: HSW66 WOODEN FRAME  
COLOR: STAINED WOOD

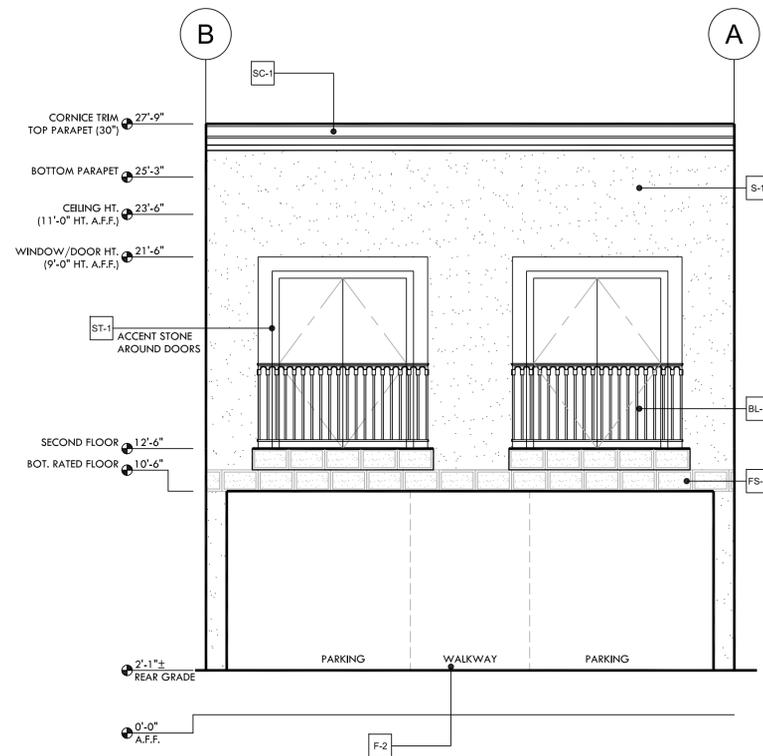
**MISCELLANEOUS:**

- AW-1 AWNING SYSTEM: FRONT STOREFRONT  
MANUFACTURER: TBD  
STYLE: TEMPERED GLASS/ALUM.  
COLOR: ALUMINUM/GLASS
- BL-1 JULIETTE BALCONY RAIL. (REAR BALCONY)  
MANUFACTURER: CASSIA JULIETTE BALCONY RAIL  
STYLE: ALUMINUM  
COLOR: PAINTED BLACK

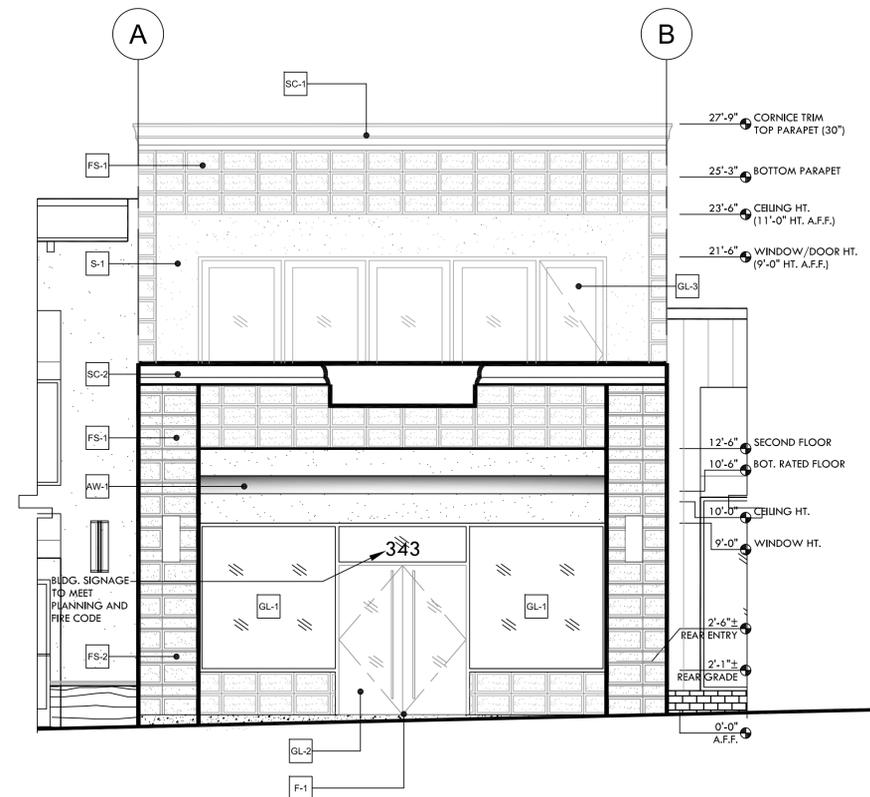


**NOTE:**  
SEE MATERIALS BOARD FOR PHOTOS AND ADDITIONAL INFORMATION.

PROPOSED EXTERIOR FRONT ELEVATION (NORTH) 4  
1/4" = 1'-0"



PROPOSED EXTERIOR BACK ELEVATION (SOUTH) 12  
1/4" = 1'-0"



PROPOSED EXTERIOR FRONT ELEVATION (NORTH) 4  
1/4" = 1'-0"

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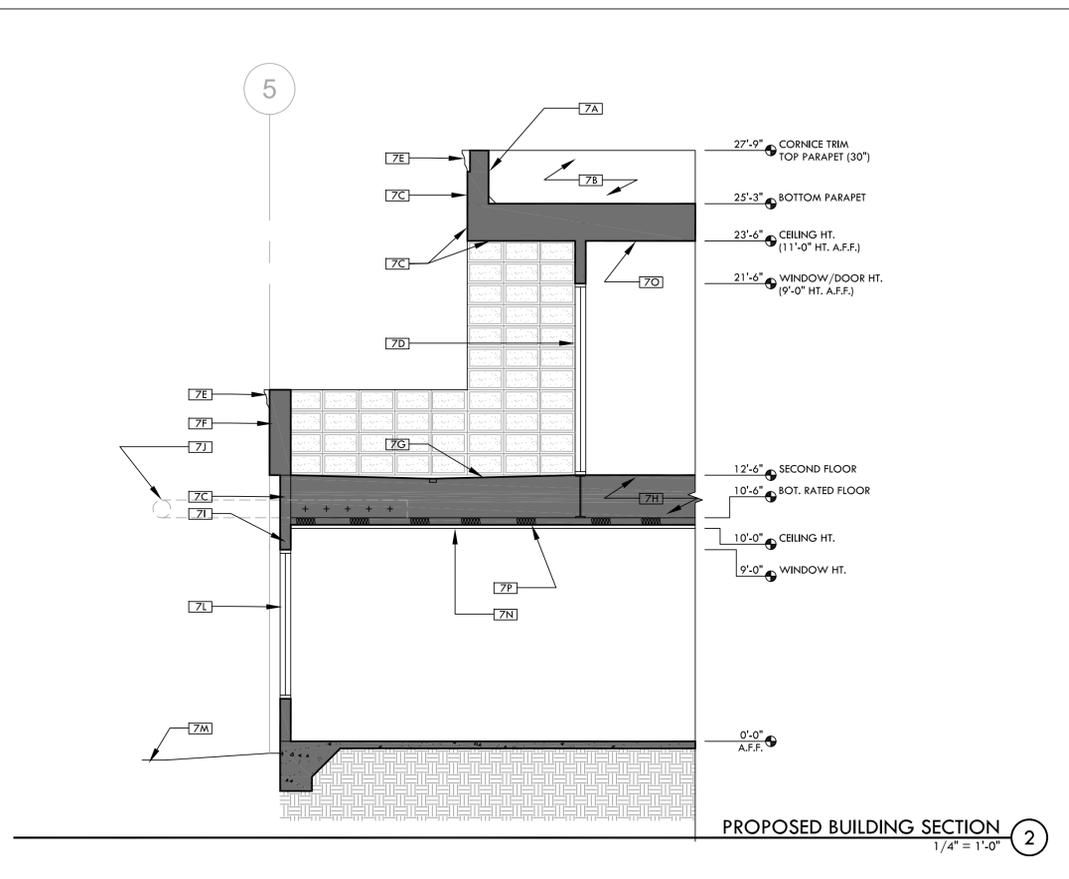
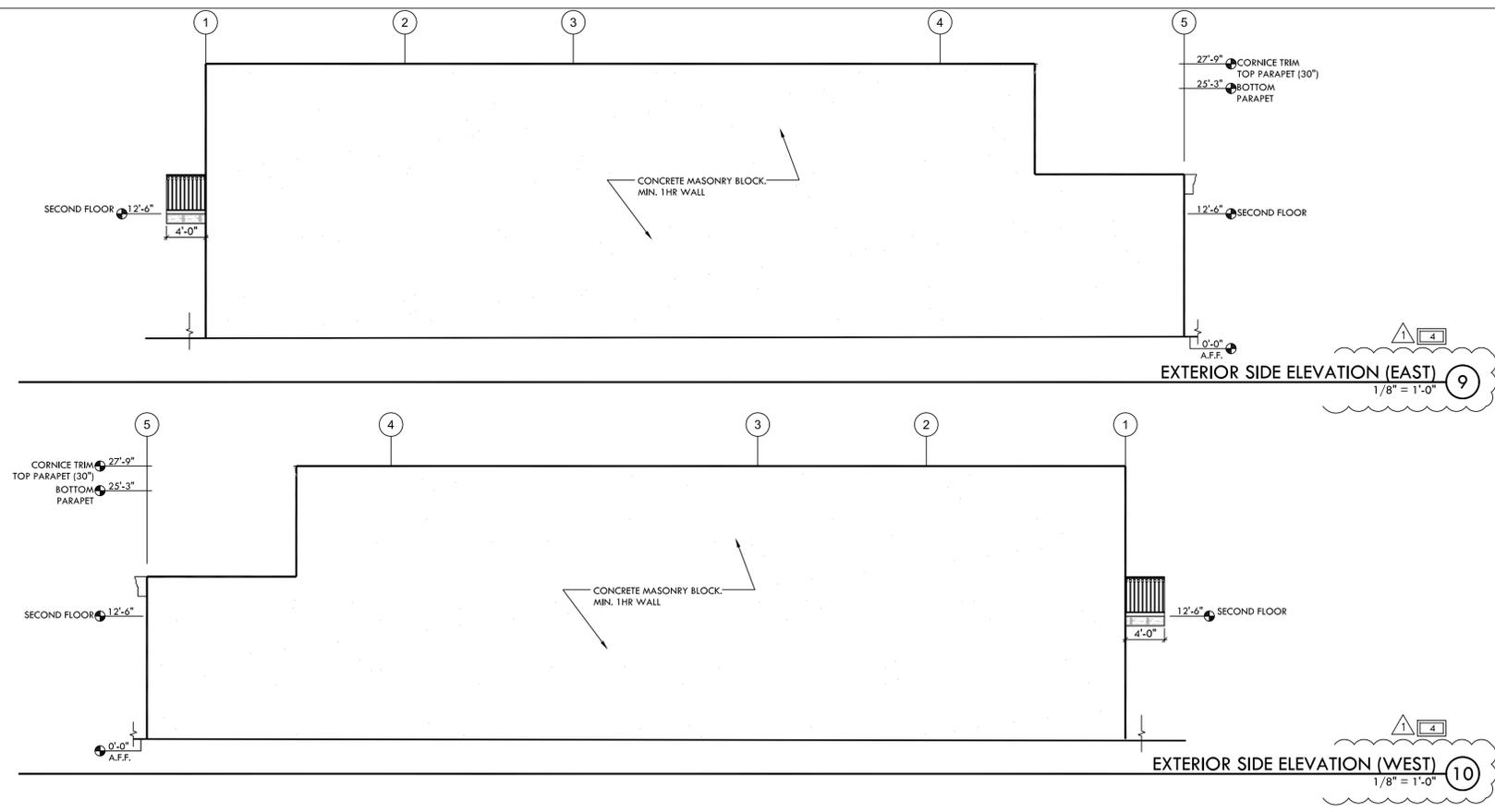
DESIGN BEYOND THE BOX

Revision	Description	Date
---	ELEVATION OPTION	08/06/19
---	PLANNING PROGRESS	08/28/19
---	PLANNING SUBMITTAL	09/03/19

**PROPOSED**  
**EXTERIOR ELEVATION**  
**& PRODUCT**  
**SPECIFICATIONS**  
AS NOTED

Scale: AES019-132-443-11  
Project No.: 09/28/19  
Date: L.V.  
Drawn: CWW  
Check: CWW

Sheet No.:  
**A5.1**



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- SECTION KEYNOTES:**
- 7A 30" PARAPET WALL WITH STONE FACE, BOTH SIDES
  - 7B PARAPET WALL WITH STONE FACE BEYOND.
  - 7C (N) STUCCO FINISH, COLOR: KELLEY MOORE BONE 27
  - 7D (N) MULTI PANEL DOOR, MANUFACTURER AND IMAGE SEE THIS SHEET.
  - 7E (N) CORNICE AT TOP OF WALL. SEE A5.1 FOR MATERIALS SPEC.
  - 7F SOLID WALL GUARD RAIL WITH STONE FACE.
  - 7G (N) ROOF TOP DECK. SEE ROOF PLAN FOR ADDITIONAL INFORMATION.
  - 7H OPEN WEB STEEL JOISTS, SIZE: TBD.
  - 7I (N) MOMENT FRAME WITHIN WALL ASSEMBLY, PENDING STRUCTURAL INPUT.
  - 7J (N) METAL TUBE STEEL AND GLASS AWNING CANTILEVER FROM STRUCTURE INSIDE BUILDING. SEE IMAGE THIS SHEET.
  - 7K NOT USED
  - 7L (N) EXTERIOR WINDOW GLAZING SYSTEM. SEE A5.1 FOR ADDITIONAL INFORMATION.
  - 7M (E) SIDEWALK, 2% MAX SLOPE.
  - 7N (N) SUSPENDED CEILING GRID, SPEC AND DETAILS.
  - 7O (N) GYP. BD. CEILING SECURED TO INTERSTITIAL CEILING FRAMING.
  - 7P INSULATION

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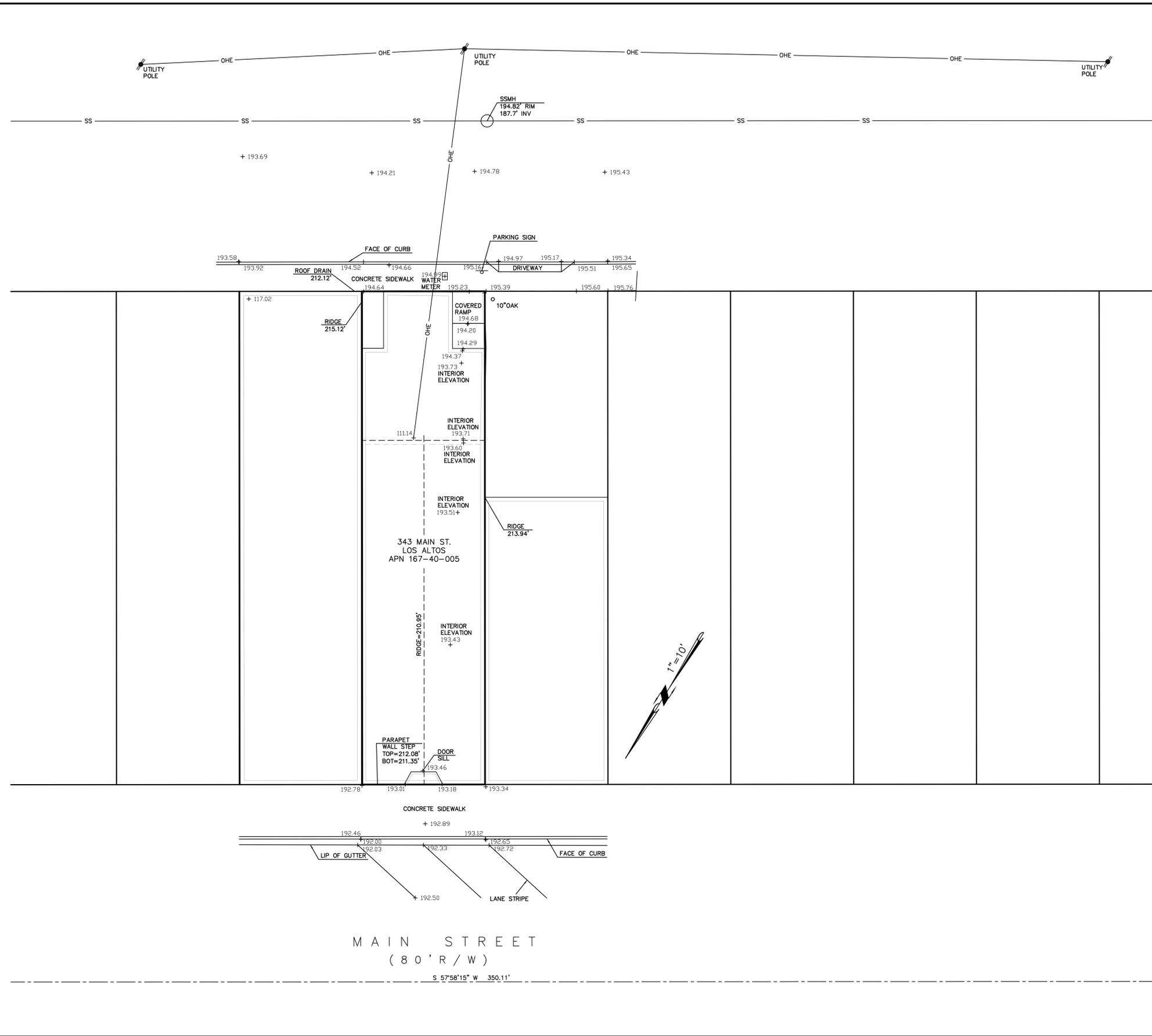
**DESIGN BEYOND THE BOX**

Revision	Description	Date
	ELEVATION OPTION	08/06/19
	PLANNING PROGRESS	08/19/19
	PLANNING SUBMITTAL	09/03/19
	PLANNING PLAN CHECK COMMENTS - REVISION 1	09/23/19

**PROPOSED BUILDING SECTION, EXTERIOR ELEVATIONS, EXTERIOR RENDERING & KEYNOTES**

Scale: A5 NOTED  
Project No: AES019-132-343-11  
Date: 09/23/19  
Drawn: CWW  
Check: CWW

*Handwritten signature*



**BENCHMARK STATEMENT:**  
 THE ELEVATIONS SHOWN ARE ON CITY OF LOS ALTOS BENCHMARK. BENCHMARK USED IS CITY BENCHMARK NO. 18 BEING A FOUND BRASS DISK AT THE SOUTHWEST CORNER OF FIRST STREET AND MAIN STREET. ELEVATION= 197.455 FEET

**SURVEYOR'S STATEMENT:**  
 THIS SITE SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE JUNE 2019. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.

SAVIOR P. MICALLEF  
 LAND SURVEYOR, LS 8289  
 (805) 709-2423



06-08-19  
 DATE

SAVIOR P. MICALLEF LAND SURVEYING 421 WILWOOD DRIVE SOUTH SAN FRANCISCO, CA 94080 805/709-2423											
CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA											
SITE SURVEY OF 343 MAIN STREET											
<table border="1"> <tr> <th>Revisions</th> <th>No.</th> <th>Date</th> <th>By</th> <th>Job No.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>		Revisions	No.	Date	By	Job No.					
Revisions	No.	Date	By	Job No.							
Date: 06-08-19 Scale: 1"=10' Design: SPM Drawn: SPM Approved: SPM Job No.	Drawing Number:  1 OF 1										



# Transmittal Log

<b>Project Name/ID:</b>	<b>CROATIVE AES2019-732-343-1</b>
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Document	Information
Date:	09.23.19
Contact:	ArcheSpaceGWSC
Project Manager:	Gary Wong
Purpose:	Project Log
Recipient(s):	
Classification:	Planning Submittal 18-PPR-09

## Commercial/Residential Design Review – Preliminary Project Review

Issue ID#	Sheet No.	Plan Check Comment	Plan Check Response
1	A0.0	<p>Cover Sheet (Sheet A0.0) – Provide a cover sheet consistent with the Commercial Design Guidelines.</p> <p>a. The summary of land development calculations is missing the existing and proposed lot coverage (area and percentage), required and proposed setbacks (front, sides and rear), impervious surfaces, building floor area in square footage and percentage (existing and proposed), and the number of parking stalls (required and proposed).</p>	Updated project data info on A0.0.
2	A0.0	<p>Sheet A0.1A-A0.1C</p> <p>Please delete the sheets from the plan set.</p>	A0.1A-A0.1C sheets omitted from set. Updated cover sheet.

Issue ID#	Sheet No.	Plan Check Comment	Plan Check Response
3	A1.0	Site Plan (Sheet A1.0) Provide a site plan consistent with the Commercial Design Guidelines. <ul style="list-style-type: none"> <li>a. Show the subject property lines, property line dimensions and streets</li> </ul>	See updated site plan information on sheet A1.0.
4	A5.2	Building Elevations (Sheet A5.1) Provide elevations consistent with the Commercial Design Guidelines <ul style="list-style-type: none"> <li>a. Show side elevations</li> </ul>	Side elevations added. See sheet A5.2 for additional information.

### Conditional Use

		Please provide a detailed project description of the existing and proposed commercial and residential uses. The project description should include all the relevant applicable information related to the proposed uses (description of business, number of employees, hours of operation, how building/site will be used, etc).	<i>See letter provided from client.</i>
--	--	--	---